

Land and Environment Court New South Wales

Medium Neutral Citation:	Sell & Parker Pty Ltd v Minister for Planning [2017] NSWLEC 1586
Hearing dates:	Conciliation conference on 19 September & 17 October 2017
Date of orders:	19 October 2017
Decision date:	19 October 2017
Jurisdiction:	Class 1
Before:	Maston AC
Decision:	See (4) below
Catchwords:	DEVELOPMENT APPLICATION: conciliation conference; agreement between the parties; orders
Legislation Cited:	Land and Environment Court Act 1979
Category:	Principal judgment
Parties:	Sell and Parker Pty Ltd (ACN 000 101 315) (Applicant) Minister for Planning (Respondent)
Representation:	Mr J Johnson, Allens(Applicant) Ms L Sims, Department of Planning (Respondent)
File Number(s):	2017/126126
Publication restriction:	No

JUDGMENT

- 1 **COMMISSIONER:** In this matter, at or after a conciliation conference, an agreement under s 34(3) of the *Land and Environment Court Act 1979* (the Court Act) was reached between the parties as to the terms of a decision in the proceedings that was acceptable to the parties. As the presiding Commissioner, I was satisfied that the decision was one that the Court could have made in the proper exercise of its functions (this being the test applied by s 34(3) of the Court Act). As a consequence, s 34(3)(a) of the Act required me to “dispose of the proceedings in accordance with the decision”.

2

The Court Act also required me to “set out in writing the terms of the decision” (s 34(3) (b)). The orders made to give effect to the agreement constitute that document.

3 In making the orders to give effect to the agreement between the parties, I was not required to make, and have not made, any merit assessment of the issues that were originally in dispute between the parties.

4 The final orders to give effect to the parties’ agreement under s34(3) of the Land and Environment Court Act 1979 are:

(1) Leave is granted to the Applicant to rely on the following amended plans and documents:

Document	Revision Date	Prepared by: (consultant)
Drawing DA-1049-14 A101 Rev M	21/9/2017	Algorry Zappia and Associates Pty Ltd
Drawing DA-1049-14 A301 Rev H	27/9/2017	Algorry Zappia and Associates Pty Ltd
Drawing 14023-16-001-FH-01 Rev P4	25/9/2017	MJ Harvey and Associates Pty Ltd
Drawing SS15-3178-000-I	22/9/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-101-J	22/9/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-401-G	15/8/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-402-I	22/9/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-403-G	15/8/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-404-G	22/9/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-501-I	22/9/2017	Site Image (NSW) Pty Ltd
Town Planning Report	29/9/2017	Tim Ward (Ethos Urban)
Acoustic Report	25/9/2017	Renzo Tonin and Associates

(2) The Applicant is to pay the Respondent's costs thrown away by reason of the amended plans and documents listed above under section 97B of the *Environmental Planning and Assessment Act 1979* as agreed or assessed.

- (3) The appeal is upheld.
- (4) Modification application No. SSDMod 16_8001, is approved, subject to the conditions set out in Annexure "A".

.....

John Maston

Acting Commissioner of the Land & Environment Court of NSW

[Annexure A \(75.7 KB, pdf\)](#)

[Plans \(8.24 MB, pdf\)](#)

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Decision last updated: 03 November 2017

ANNEXURE A

Sell and Parker Pty Limited v Minister for Planning

SCHEDULE 1

Application No:	SSD 5041
Applicant:	Sell and Parker Pty Ltd
Consent Authority:	Land and Environment Court of NSW
Development:	Increasing the processing capacity of the existing metal recycling facility, including reconfiguration and expansion of the facility into the adjoining site at 23-43 Tatersall Road, Kings Park.
Date of Original Consent:	12 November 2015
Modification:	SSD 5041 MOD 1- the modification includes amendments to the site layout, design of buildings and structures and alterations and additions to existing buildings and structures

SCHEDULE 2

This consent is modified as follows:

In Schedule 1

1. In the table of definitions, insert the following definitions in alphabetical order:
Expanded Operations The point at which the site receives or processes in excess of 90,000 tonnes per calendar year of waste
FRNSW Fire and Rescue New South Wales
NCC National Construction Code
Waste As defined in the POEO Act In Schedule 2
2. Delete and replace Condition A2 as follows:
A2. The Applicant shall carry out the Development in accordance with the:
 - (a) EIS prepared by ERM dated July 2014;
 - (b) Response to Submissions report prepared by ERM dated 7 January 2015;
 - (c) Supplementary Response to Submissions prepared by Mecone dated 30 June 2015;

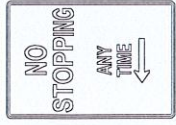
- (d) Supplementary Response to Submissions prepared by Sell and Parker Pty Ltd dated 3 September 2015;
 - (e) Site layout plans and drawings (See Appendix A);
 - (f) Management and Mitigation Measures (see Appendix B);
 - (g) Modification Application SSD 5041 MOD 1 and accompanying document titled *Statement of Environmental Effects 23-43 and 45 Tattersall Road, Kings Park* dated August 2016 prepared by Higgins Planning, additional information from Higgins Planning dated 22 December 2016, further additional information from Allens and Linklaters dated 9 February 2017 and the Town Planning Report prepared by Ethos Consulting on 29 September 2017.
3. Insert Condition B35A as follows:
- B35A. Prior to:
- (i) expanded operations;
 - (ii) the issue of an Occupation Certificate; or
 - (iii) the date being 6 months after the determination of MOD 1 by the Land and Environment Court,
- (whichever is sooner), the Applicant must ensure that an appropriate sprinkler system and smoke detection system have been installed within the floc storage area in Building C to the satisfaction of FRNSW.
4. Insert Condition E35B as follows: B35B
- Prior to:
- (i) expanded operations;
 - (ii) the issue of an Occupation Certificate; or
 - (iii) the date being 7 months after the determination of MOD 1 by the Land and Environment Court,
- (whichever is sooner), the Applicant must ensure that all fire safety measures required by the NCC for Buildings A, B, & C (as shown on drawing 14023-16-001-FH-01 Rev P4) have been installed and verified through a Fire Safety Audit in accordance with Australian Standard 4655 – Fire Safety Audits, to the satisfaction of FRNSW.
5. Delete Condition B19(viii) and replace as follows:
- (viii) installation of appropriate dust screens at the property boundary and replacement of dust screens and shade cloths at the Tattersall Road boundary of the 45 Tattersall Road site.

6. Replace all drawings in Appendix A with the following:

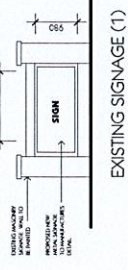
DEVELOPMENT DATA	
SITING AREAS	
WINDSTOP	OFFICE/STORAGE
BUILDING 1*	1718 SQM
BUILDING 2*	3102 SQM
BUILDING 3*	2021 SQM
BUILDING 4*	1718 SQM
BUILDING 5*	2021 SQM
BUILDING 6*	1718 SQM
BUILDING 7*	1718 SQM
BUILDING 8*	1718 SQM
BUILDING 9*	1718 SQM
BUILDING 10*	1718 SQM
BUILDING 11*	1718 SQM
BUILDING 12*	1718 SQM
BUILDING 13*	1718 SQM
BUILDING 14*	1718 SQM
BUILDING 15*	1718 SQM
BUILDING 16*	1718 SQM
BUILDING 17*	1718 SQM
BUILDING 18*	1718 SQM
BUILDING 19*	1718 SQM
BUILDING 20*	1718 SQM
TOTAL	16,977 SQM
CARPARKING	
REQUIRED	
TOTAL CARPARK AREA	18,877
75	75
134	134
448	448
40	40
11	11
TOTAL	140
PROVIDED	
TOTAL	147

LEGEND	
[Symbol]	EXISTING STRUCTURE TO BE MAINTAINED
[Symbol]	EXISTING STRUCTURE TO BE RELOCATED
[Symbol]	PROPOSED NEW STRUCTURE
[Symbol]	STRUCTURE TO BE DEMOLISHED
[Symbol]	STRUCTURE TO BE RELOCATED

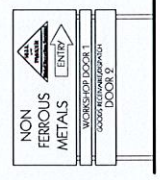
LEGEND	
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE MAINTAINED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE RELOCATED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE DEMOLISHED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE MAINTAINED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE RELOCATED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE DEMOLISHED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE MAINTAINED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE RELOCATED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE DEMOLISHED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE MAINTAINED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE RELOCATED)
[Symbol]	TRAFFIC SIGNAL/TRAFFIC LIGHTS (TO BE DEMOLISHED)



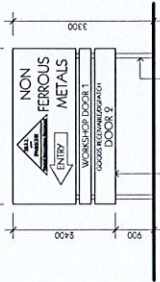
PROPOSED SIGN 1.



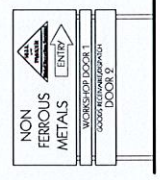
EXISTING SIGNAGE (1) TO BE UPGRADED



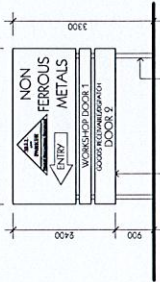
SIDE 1



SIDE 2

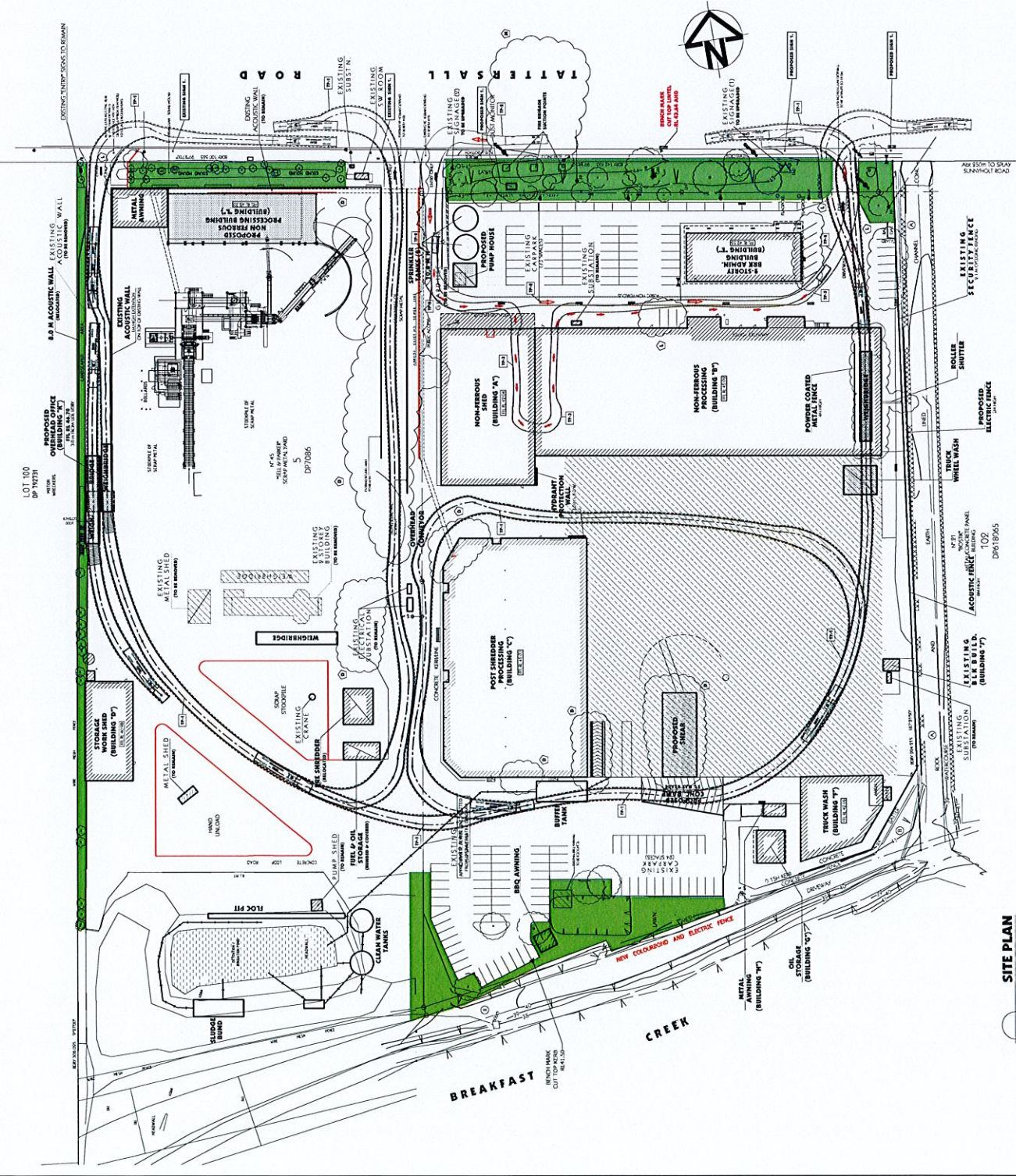


SIDE 1



SIDE 2

EXISTING SIGNAGE (2) TO BE UPGRADED



SITE PLAN

ALGORY ZAPPA & ASSOCIATES PTY. LTD.
 CONSULTING ENGINEERS AND ARCHITECTS
 15/157 LIND
 CANTON
 08 9437 1500
 15/157 LIND CANTON VIC 3100

PROJECT No. PA1/14
 DRAWING No. A101/M
 DATE 10/05/14
 DEVELOPMENT APPLICATION DA 10493/14

PROPOSED ALTERATIONS TO EXISTING RECYCLING CENTRE
 LOT 2 DP550592 & LOT 5 DP7086, NO 23 & 45
 TATTERSALL RD, KINGS PARK
 SELL & PARKER METAL

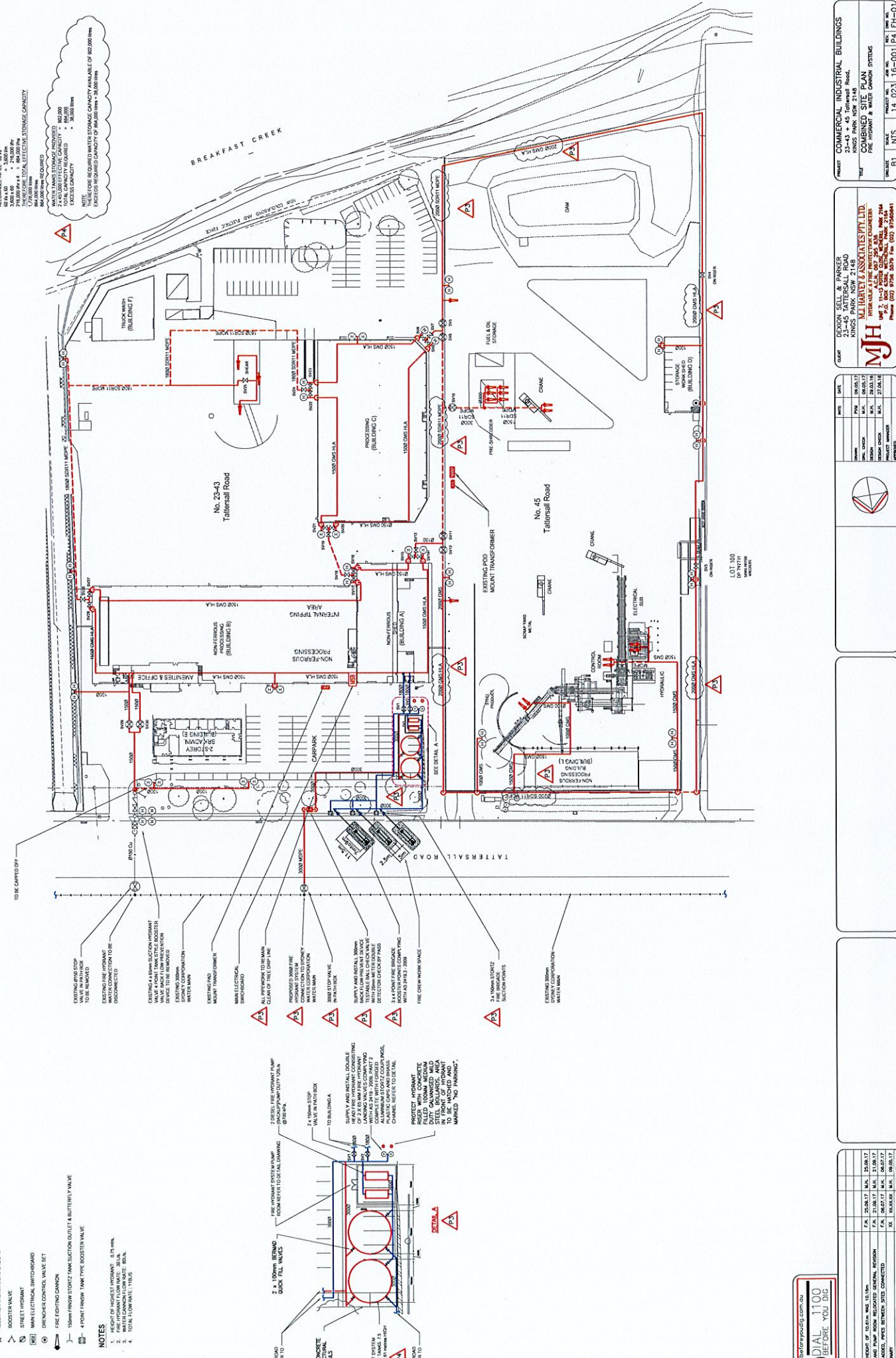
GENERAL NOTES:
 1. All dimensions and levels are to be verified by the contractor at any building work.
 2. All building work shall be completed by the contractor.
 3. All building work shall be completed by the contractor.
 4. All building work shall be completed by the contractor.
 5. All building work shall be completed by the contractor.
 6. All building work shall be completed by the contractor.
 7. All building work shall be completed by the contractor.
 8. All building work shall be completed by the contractor.
 9. All building work shall be completed by the contractor.
 10. All building work shall be completed by the contractor.

WATER STORAGE CAPACITY IN ACCORDANCE WITH CLAUSE 4.2 OF AS 2419 2005 PART 1

REQUIRED STORAGE: 720000 LITRES
 420000 M³ + 170000 TOTAL STORAGE
 AVAILABLE M³: 80 TN
 80 x 4 L³ = 3200 L³
 24000 M³ + 420000 M³ = 444000 M³
 170000 M³ + 444000 M³ = 614000 M³
 614000 M³ > 420000 M³ THEREFORE REQUIRED WATER STORAGE CAPACITY AVAILABLE OF 602000 M³

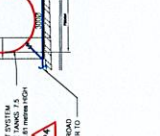
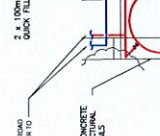
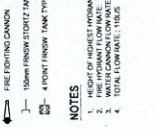
2.4 EXISTING STORAGE CAPACITY: 602000 M³
 EXCESS CAPACITY: 162000 M³

NOTE: THEREFORE REQUIRED WATER STORAGE CAPACITY AVAILABLE OF 602000 M³
 EXCESS REQUIRED CAPACITY OF 162000 M³



- LEGEND**
- ⊕ 30mm FIRE HOSE REEL
 - ⊙ DOUBLE FIRE HYDRANT
 - ⊗ ISOLATION VALVE IN GROUND
 - ⊗ ISOLATION VALVE ABOVE GROUND
 - ⊗ BOOSTER VALVE
 - ⊗ STREET HYDRANT
 - ⊗ MAIN ELECTRICAL SWITCHBOARD
 - ⊗ FIRE FIGHTING CANNON
 - ⊗ FIRE FIGHTING CANNON
 - ⊗ 4 POINT FLOW/TANK TYPE BOOSTER VALVE
 - ⊗ 4 POINT FLOW/TANK TYPE BOOSTER VALVE

- NOTES**
1. HEIGHT OF HIGHEST HYDRANT: 0.75 mms.
 2. WATER CANNON LOW VALVE: 1000 M³
 3. WATER CANNON LOW VALVE: 1000 M³
 4. TOTAL FLOW RATE: 100 L/S



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NO.	DESCRIPTION	ISSUED BY	APPROVED BY
PA	25.08.17	M.H.	25.08.17
PA	06.07.17	M.H.	06.07.17
PA	06.07.17	M.H.	06.07.17
PA	06.07.17	M.H.	06.07.17
PA	06.07.17	M.H.	06.07.17

NO.	DATE	DESCRIPTION
1	06.07.17	ISSUED FOR PERMIT
2	28.03.18	ISSUED FOR PERMIT
3	27.08.18	ISSUED FOR PERMIT

NO.	DATE	DESCRIPTION
1	06.07.17	ISSUED FOR PERMIT
2	28.03.18	ISSUED FOR PERMIT
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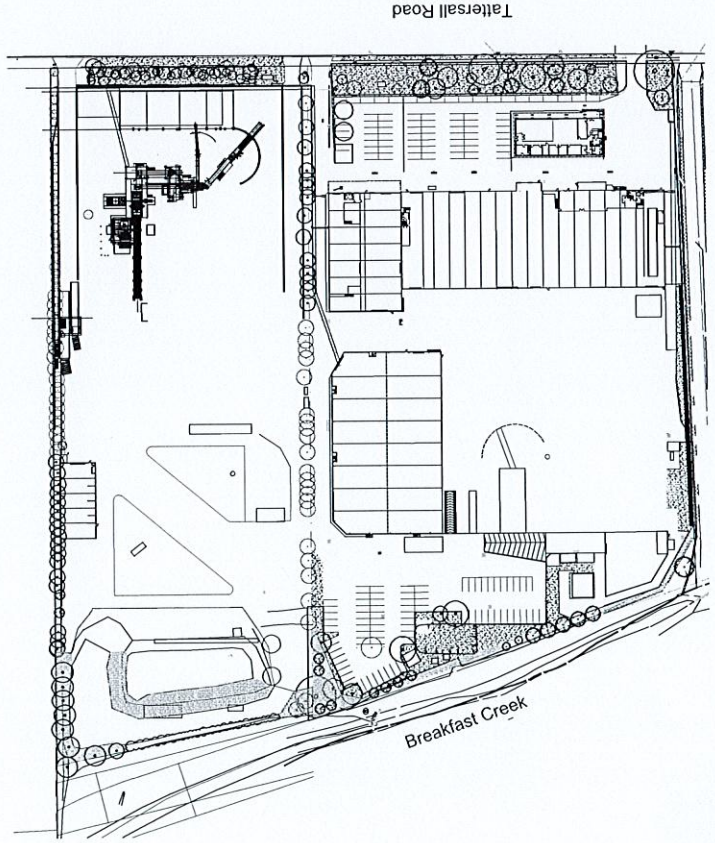
NO.	DATE	DESCRIPTION
1	06.07.17	ISSUED FOR PERMIT
2	28.03.18	ISSUED FOR PERMIT
3	27.08.18	ISSUED FOR PERMIT

MJH
 DEON SELL & PARKER
 23-45 TATTERSALL ROAD
 TULLAHULLIN, CO. DUBLIN 17
 IRELAND
 TEL: 01 856 2200
 FAX: 01 856 2201
 WWW.MJHENGINEERS.COM

PROJECT: COMMERCIAL INDUSTRIAL BUILDINGS
 23-43 + 45 Tattersall Road,
 TULLAHULLIN, CO. DUBLIN 17
 IRELAND
 CLIENT: COMBINED SITE PLAN
 FIRE HYDRANT & WATER CANNON SYSTEMS
 DRAWING NO: 14_023_16-001_PA_EH-01

PROPOSED ALTERATIONS TO EXISTING RECYCLING CENTRE 23-43 & 45 TATTERSALL RD, KINGS PARK LANDSCAPE

DRAWINGS	DWG NO.	DRAWING TITLE	SCALE
	000	COVERSHEET	N/A
	101	LANDSCAPE MASTERPLAN	1:500
	401	LANDSCAPE PLAN	1:250
	402	LANDSCAPE PLAN	1:250
	403	LANDSCAPE PLAN	1:250
	404	LANDSCAPE PLAN	1:250
	501	LANDSCAPE DETAILS	AS SHOWN



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Rev	Date	Description
1	15.08.2017	Final Design
2	15.08.2017	Final Design
3	15.08.2017	Final Design
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98	15.08.2017	Final Design
99	15.08.2017	Final Design
100	15.08.2017	Final Design

LEGEND

- I LCC Recommendations
- H Revised Criteria
- G Revised for the Services
- F Revised for the Services
- E Revised Planning
- D Revised for the Services
- C Construction conditions
- B General Revision
- A Proposed
- Other Check / Date

Key Plan:



Client:
Sell and Parker Pty Ltd

Project:
Proposed Alterations to
Existing Recycling Center
23 & 45 Tattersall Rd, Kings Park

SITE IMAGE
Landscape Architects
Level 1, 15, South Street
Sydney NSW 2018
Australia
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Fax: (61 2) 9633 3677
www.siteimage.com.au
Site Image Pty Ltd
ABN 62 742 282

CONSTRUCTION CERTIFICATE
Drawing Name:
Coversheet

Scale:
Job Number:
Drawing Number:
Sheet:
SS15-3178
000 1

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Drawn	Checked	Date
JL	NM	22.03.2017
SM	NM	23.03.2017
SM	NM	13.03.2017
SM	NM	31.01.2017
JL	NM	18.12.2016
JL	NM	18.12.2016
SM	NM	04.10.2016
SM	NM	17.02.2016
JW	NM	17.02.2016
JW	NM	17.02.2016

- J LEC Amendments
- A Approved for construction
- C Approved for construction
- H Revised for the services
- I Updated landscaping
- E Updated landscaping
- D Construction certificate
- B General Remarks
- A For Comment
- None Revision Description

LEGEND

- Site Boundary
- Existing vegetation to be retained, with additional landscape vegetation
- Turf
- Existing tree to be removed
- Existing tree to be retained
- Proposed tree planting



Client: Sell and Parker Pty Ltd

Project: Proposed Alterations to Existing Recycling Center
23 & 45 Tattersall Rd, Kings Park

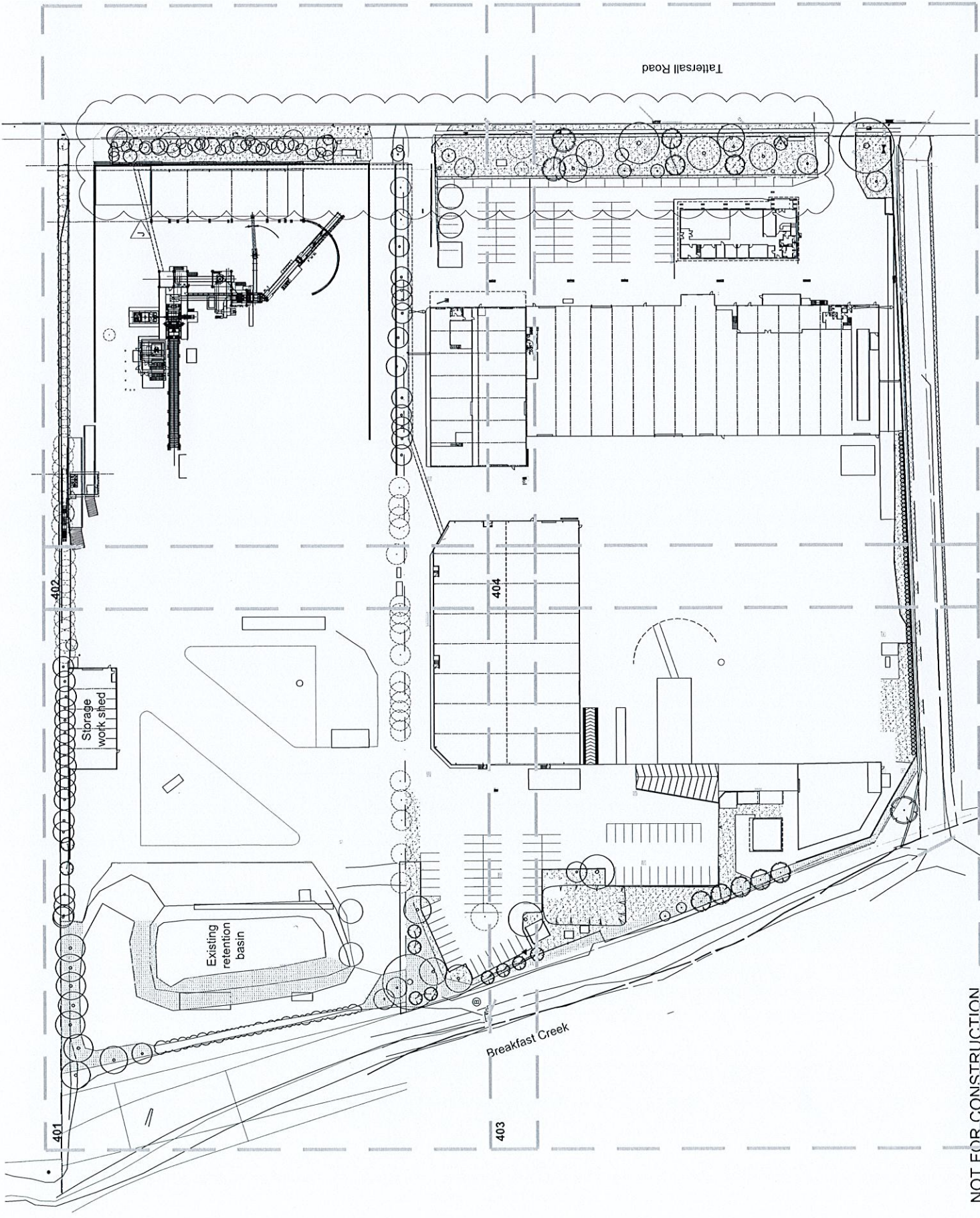
SITE IMAGE

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CONSTRUCTION CERTIFICATE
Landscape Masterplan

Scale: 1:500 @ A1
Job Number: SS-15-3178
Drawing Number: 101 J



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- I LSC Approvals
- H Interest of First Services
- G Interest of Second Services
- E Interest of Third Services
- D Construction Certificate
- C Construction Certificate
- B General Functions
- A For Comment
- Other Check Date

LEGEND

- Site Boundary
- Existing vegetation to be retained
- New additional non-preserved vegetation
- Turf
- Existing tree to be removed
- Existing tree to be retained
- Proposed tree planting

Any Note:



Client:
Sell and Parker Pty Ltd

Project:
Proposed Alterations to Existing Recycling Center 23 & 45 Tattersall Rd, Kings Park

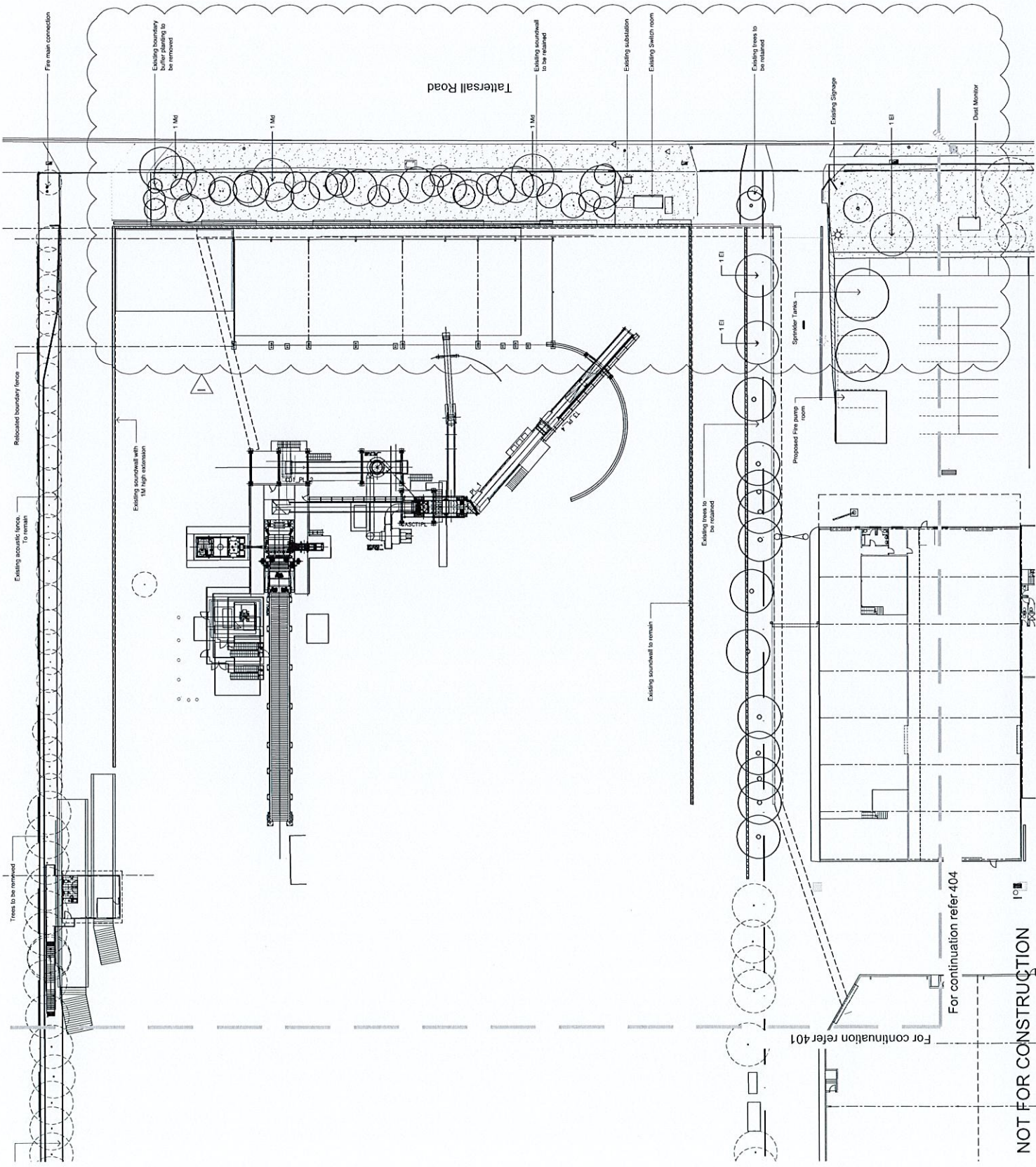
SITE IMAGE

Site Image (NSW) Pty Ltd
Level 2, 100 King Street
Sydney NSW 2010
Tel: 61 2 9332 5900
www.siteimage.com.au
Site Image (NSW) Pty Ltd
A/NZ 61 752 726



CONSTRUCTION CERTIFICATE
Landscape Plan

Scale: 1:250 @ A1
Job Number: SS15-3178
Drawing Number: 402 I



NOT FOR CONSTRUCTION

For continuation refer 404

For continuation refer 401

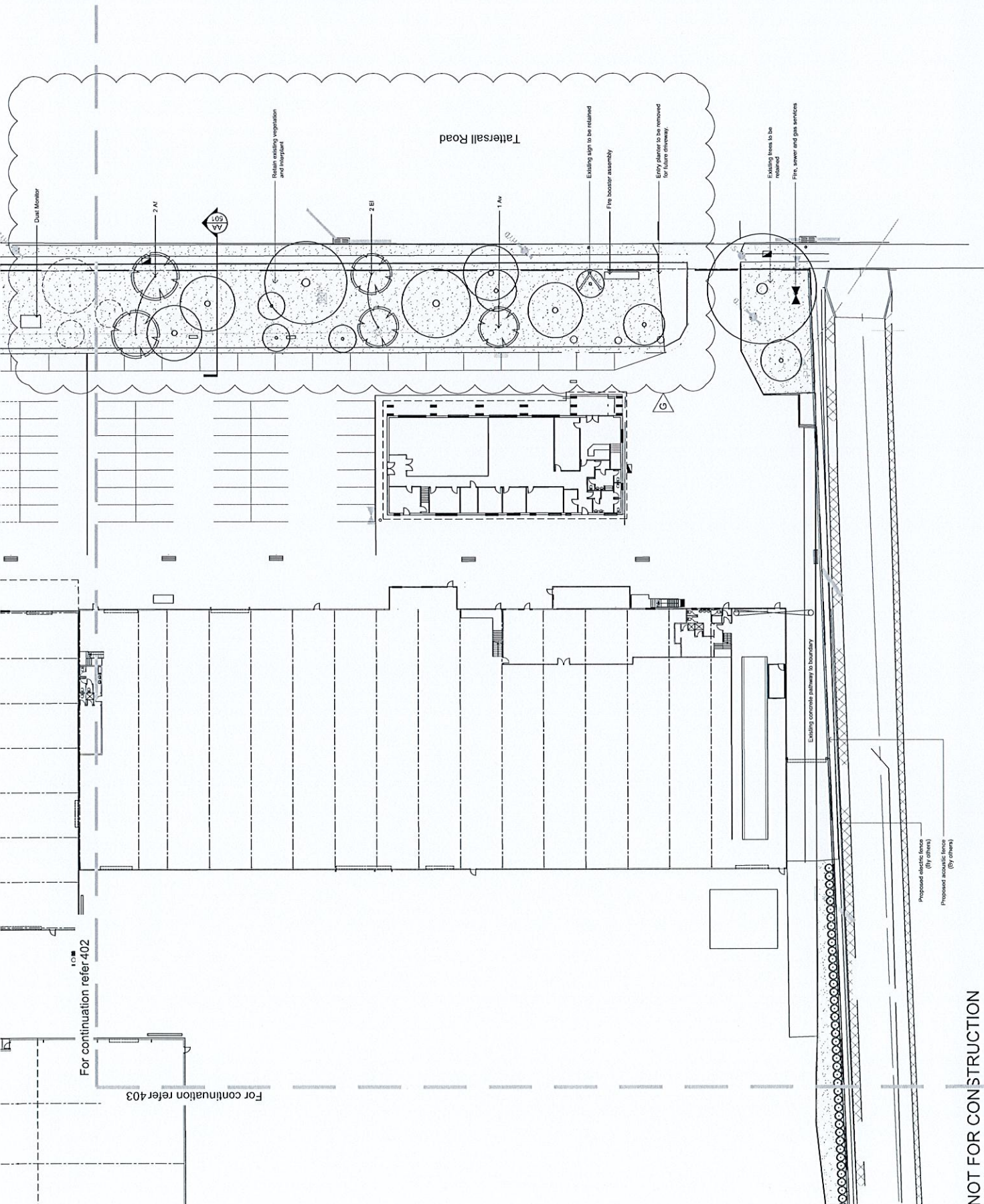
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The architect shall check and certify all work on site. Retaining work by others shall be undertaken in accordance with the relevant standards. Any alterations to the site plan shall be undertaken in accordance with the relevant standards. Any proposed construction shall be undertaken in accordance with the relevant standards. Any proposed construction shall be undertaken in accordance with the relevant standards.

Rev	Description	Date
01	Issue for tender	13.03.2016
02	Issue for construction	13.03.2016
03	Issue for construction	13.03.2016
04	Issue for construction	13.03.2016
05	Issue for construction	13.03.2016
06	Issue for construction	13.03.2016
07	Issue for construction	13.03.2016
08	Issue for construction	13.03.2016
09	Issue for construction	13.03.2016
10	Issue for construction	13.03.2016
11	Issue for construction	13.03.2016
12	Issue for construction	13.03.2016
13	Issue for construction	13.03.2016
14	Issue for construction	13.03.2016
15	Issue for construction	13.03.2016
16	Issue for construction	13.03.2016
17	Issue for construction	13.03.2016
18	Issue for construction	13.03.2016
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21	Issue for construction	13.03.2016
22	Issue for construction	13.03.2016
23	Issue for construction	13.03.2016
24	Issue for construction	13.03.2016
25	Issue for construction	13.03.2016
26	Issue for construction	13.03.2016
27	Issue for construction	13.03.2016
28	Issue for construction	13.03.2016
29	Issue for construction	13.03.2016
30	Issue for construction	13.03.2016
31	Issue for construction	13.03.2016
32	Issue for construction	13.03.2016 </tr

LEGEND

	Site boundary
	Existing vegetation to be retained
	Existing vegetation to be removed
	Turf
	Existing trees to be retained
	Existing trees to be removed
	Proposed tree planting



Client: Sell and Parker Pty Ltd

Project: Proposed Alterations to Existing Recycling Center 23 & 45 Tattersall Rd, Kings Park

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CONSTRUCTION CERTIFICATE
 Landscape Plan

Scale: 1:250 @ A1
 Job Number: SS15-3178
 Drawing Number: 404 G

NOT FOR CONSTRUCTION

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The contractor shall ensure that any work is carried out in accordance with the instructions and specifications contained in this drawing and any relevant standards and codes of practice. Any deviation from the instructions and specifications shall be notified to the Landscape Architect for approval.

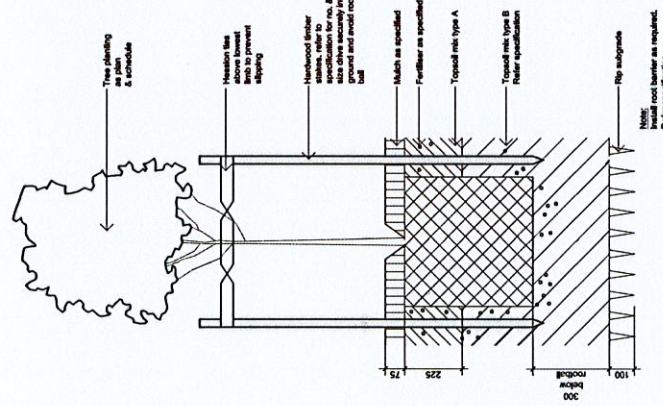
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LEGEND

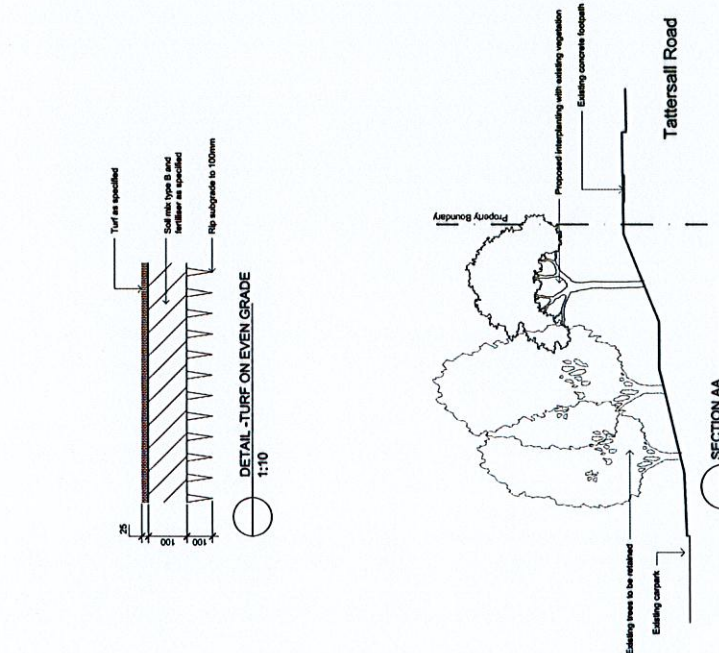
1	EC	Excavation	20/03/2017
2	SM	Site Management	31/07/2017
3	JO	Job Order	01/08/2018
4	SM	Site Management	04/12/2018
5	SM	Site Management	07/02/2019
6	SM	Site Management	08/03/2019
7	SM	Site Management	13/02/2019
8	SM	Site Management	13/02/2019
9	SM	Site Management	13/02/2019
10	SM	Site Management	13/02/2019
11	SM	Site Management	13/02/2019
12	SM	Site Management	13/02/2019

Maintenance Schedule

Table	ACTIVITY	FREQUENCY				ACTION
		T	W	M	Season	
1	Logbook	+	+	+	+	Complete a logbook entry every day at site and fill in every two weeks. The logbook should be reviewed and signed by the site manager. Upon request, make the logbook available for inspection. The logbook should be submitted to the Contract Administrator on a monthly basis. Please note that the logbook is a key document and any falsification or alteration may result in legal action. The logbook should be stored in a secure location and not be available to the public.
2	Plant replacement	+	+	+	+	Inspect and replace failed plants within 2 weeks of observation of failure. Record the location and condition of all plants. Prior to phasing any replacement plants, ensure that the soil and drainage are suitable for the plants to be replaced. Do not disturb major plant roots while they are in place. If it can be expected that plants will be significantly below-ground after removal, then a pre-emptive application of a slow-release fertiliser should be made. This should be accompanied by a pre-emptive application of a slow-release fertiliser to ensure that the plants are able to tolerate the removal of the soil. Any plants that may be affected by the removal of the soil should be protected by a layer of mulch. The mulch should be applied in a layer of 100mm and should be watered in. The mulch should be replaced as required.
3	Mulch	+	+	+	+	Inspect and replace mulch within 2 weeks of observation. Prior to phasing any replacement mulch, ensure that the soil and drainage are suitable for the plants to be replaced. Do not disturb major plant roots while they are in place. If it can be expected that plants will be significantly below-ground after removal, then a pre-emptive application of a slow-release fertiliser should be made. This should be accompanied by a pre-emptive application of a slow-release fertiliser to ensure that the plants are able to tolerate the removal of the soil. Any plants that may be affected by the removal of the soil should be protected by a layer of mulch. The mulch should be applied in a layer of 100mm and should be watered in. The mulch should be replaced as required.
4	Erosion control	+	+	+	+	Inspect every two weeks and repair any erosion control devices as necessary. Maintain erosion control devices as necessary. Inspect every two weeks and repair any erosion control devices as necessary. Maintain erosion control devices as necessary. Inspect every two weeks and repair any erosion control devices as necessary. Maintain erosion control devices as necessary. Inspect every two weeks and repair any erosion control devices as necessary. Maintain erosion control devices as necessary.
5	Stakes and ties	+	+	+	+	Inspect every two weeks, and repair any stakes and ties as necessary. Remove any stakes and ties that are damaged or no longer required. Inspect every two weeks, and repair any stakes and ties as necessary. Remove any stakes and ties that are damaged or no longer required.
6	Weed and rubbish removal	+	+	+	+	Inspect and remove weeds and rubbish immediately upon observation. Leave no weeds on site. Remove any weeds and rubbish that are observed. Inspect every two weeks, and repair any weeds and rubbish as necessary. Remove any weeds and rubbish that are damaged or no longer required.
7	Pruning	+	+	+	+	Inspect every two weeks and prune as necessary to remove dead wood. Prune all plants to maintain a healthy appearance. Inspect every two weeks and prune as necessary to remove dead wood. Prune all plants to maintain a healthy appearance. Inspect every two weeks and prune as necessary to remove dead wood. Prune all plants to maintain a healthy appearance.
8	Spraying	+	+	+	+	Inspect every 2 weeks and apply as necessary to control weeds and pests. Apply any chemicals in accordance with the manufacturer's instructions. Inspect every 2 weeks and apply as necessary to control weeds and pests. Apply any chemicals in accordance with the manufacturer's instructions.
9	Light work	+	+	+	+	Complete within 1 week (7 days) of observation. Light work should be completed as necessary to maintain the site. Inspect every 2 weeks and complete as necessary to maintain the site. Light work should be completed as necessary to maintain the site. Inspect every 2 weeks and complete as necessary to maintain the site.
10	Planting and ferti-ling	+	+	+	+	Inspect every 2 weeks and remove any plants that are not established. Apply any fertiliser in accordance with the manufacturer's instructions. Inspect every 2 weeks and remove any plants that are not established. Apply any fertiliser in accordance with the manufacturer's instructions.
11	Watering	+	+	+	+	Water plants and areas where necessary every day at site and at least every 2 weeks in summer. Allow for the needs of the plants to be watered. Water plants and areas where necessary every day at site and at least every 2 weeks in summer. Allow for the needs of the plants to be watered.
12	Mowing, top-dressing and edging	+	+	+	+	Inspect every 2 weeks and mow as necessary. Top-dress and edge as necessary. Inspect every 2 weeks and mow as necessary. Top-dress and edge as necessary.



DETAIL - 75-200L TREE PLANTING ON GRADE
SCALE 1:100



SECTION AA
SCALE 1:100

Symbol	Botanic Name	Common Name	Minimum Size (H x W)	Plant Size	Spreading	Qty
TREES						
A1	<i>Allocasuarina verticillata</i>	Rough-Barked Apple	20 x 8	100L	As Shown	3
A2	<i>Allocasuarina verticillata</i>	Woody She-Oak	8 x 7	100L	As Shown	1
B1	<i>Casuarina cunninghamiana</i>	River She-Oak	20 x 6	100L	As Shown	10
B2	<i>Encasuarina cunninghamiana</i>	Elk Oak	7 x 5	100L	As Shown	5
B3	<i>Encasuarina cunninghamiana</i>	Water Paperbark	21 x 9	100L	As Shown	1
B4	<i>Encasuarina cunninghamiana</i>	Water Paperbark	6 x 3	100L	As Shown	3
B5	<i>BAMBUSO</i>	Claw	18 x 2	300mm	As Shown	78

Sell and Parker Pty Ltd

Proposed Alterations to Existing Recycling Center 23 & 45 Tattersall Rd, Kings Park

SITE IMAGE

CONSTRUCTION CERTIFICATE

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